

**LEEWARD SUBDIVISION
HOMEOWNERS' ASSOCIATION, INC.**



**PLANNING
AND
ARCHITECTURAL DESIGN
GUIDELINES**

Revised April 2015

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- I. **Authority.** Article IV of the Amended and Restated Declaration of Covenants, Conditions and Restrictions for Leeward Subdivision (“Declaration”) as recorded in the Public Records of Escambia County at Book 7299 Page 1823. The Developer has delegated architectural review to the Architectural Review Committee (“ARC”) subject to the Developer’s rights as set forth in the Declaration.
- II. **Definitions.** Terms defined in the Declaration have the same meanings these in Planning and Architectural Design Guidelines (“Guidelines”) as ascribed thereto in the Declaration.
- III. **Purpose.** The purpose of these Guidelines is to document, measure, preserve, and maintain architectural and environmental standards of the community and ensure that its residents continue to enjoy an attractive and appealing neighborhood environment. The ARC intends to maintain the entire development in harmony with the Developer’s plan, while still allowing opportunity for individual expression and general community improvement. Compliance with these Guidelines will also protect, preserve, and enhance property values.

The ARC’s intent is not to be overly restrictive with regards to its duties, but rather to uphold the requirements and restrictions outlined herein and set forth in the Declaration and to make judgments as to site planning, landscaping, architectural design and style for the benefit of the neighborhood as a whole. At times these judgments may appear to be in conflict with the individual Owner’s wants, wishes or needs. It is important to note that these Guidelines and the review process are intended to protect the Owner’s investment by ensuring consistency and quality. Proposed projects will be reviewed on a case-by-case basis. It is recommended that the Owner contact the ARC early in the design process so as not to waste time and energy due to unacceptable design.

- IV. **Objectives.** The specific objectives of these Guidelines are:
 - To provide uniform Guidelines to be used by Owners in maintaining and enhancing our carefully designed community.
 - To assist Owners in preparing an acceptable application to the ARC.
 - To increase Owners’ awareness and understanding of the Declaration.
 - To illustrate basic design principles, which will aid Owners in developing exterior improvements and structural changes that are in harmony with the immediate neighborhood and community as a whole.

V. **Welcome to Leeward!** Leeward is a single-family residential neighborhood incorporating many important elements of Traditional Neighborhood Design. These design principles include the use of interconnected streets and parks, the preservation of existing natural vegetation and use of complementary xeriscaping, and specific planning and architectural design guidelines. These principles help foster a diversity of housing types and styles, with smaller footprints, one and a half (1½) and two (2) story houses, incorporating large front porches, locating garages to the side and rear of the primary structure, and adding natural landscaping to create attractive streetscapes. Elements such as internal parks and recreation areas, pedestrian friendly streets, underground utilities and environmentally friendly construction help to create a beautiful and lasting community.

VI. **Site Location.** The front entrance to Leeward Subdivision is located on Leeward Drive a few hundred feet north of Old Gulf Beach Highway, in Southwest Pensacola, Escambia County, Florida (at the southwest corner of Section 19, Township 3 South, and Range 31 West). The project area is bounded to the east by the Estates at Emerald Shores subdivision, to the north by the Garcon Swamp, to the west by the Perdido Pitcher Plant Prairie Preserve, and to the south by the Vizcaya subdivision and property owned by the Church of the Holy Spirit.

VII. **Architectural Concept.**

ver-nac-u-lar: of, relating to, or characteristic of, a place or group; *especially:* of, relating to, or being the common building style of a place.

There are several main characteristics of Florida Vernacular architecture, including deep roof overhangs (to reduce solar heat gain and weathering of siding), large and deep porches and above-grade floors. Porches are typically configured on the east or west sides of the house to prevent sunlight from heating the walls of the living quarters; in some instances porches extend around the entire perimeter of the home. Building above grade can have several benefits, including: allowing easier access for utility repair (such as a broken water pipe) and for easier installation, modification and upgrades of utilities; preventing passersby from seeing directly into the house from street level; etcetera. Other aspects of Florida Vernacular include strategically placed windows promote cross-ventilation by taking advantage afternoon breezes and metal roofing that reflects sunlight and lasts a lifetime.

In addition to Florida Vernacular, other traditional architectural styles are considered appropriate and desirable for Leeward homes. These architectural styles include, but are not limited to, Bungalow/Craftsman, Prairie and Neocolonial, and simple Victorian. These styles have many of the characteristics of Florida Vernacular and are indicative of turn-of-the-century residential architecture. As such, homes constructed in these various styles can be combined to form a unique neighborhood with consistent architectural form and character. In Leeward, cookie cutter housing, cheap building materials, minimal character and prominent garages are simply not acceptable.

Photographs of acceptable and unacceptable housing styles and details are included with these Guidelines; the reader is directed there to obtain quick understanding of what is described in detail herein and in the Declaration.

VIII. Environmental. Leeward strives to minimize the impact to the environment by reducing clearing and construction activities to specific areas. With many developments in northwest Florida, all of the existing vegetation and trees, even if indigenous to the area, are removed during construction activities. The result is often a barren landscape comprised of water dependent lawns and exotic, haphazard landscaping. By retaining a significant portion of the existing and natural ground cover, and by retaining as many native trees as possible, the neighborhood will be less dependent on water, fertilizer and pesticides, while providing landscape continuity, shade and habitat for native wildlife.

IX. Architectural Review. Generally, all improvements and alterations require ARC approval. Article IV Section 4.3 of the Declaration provides as follows:

4.3 Construction Subject to Review.

(a) All dwellings, buildings, structures, landscaping and other improvements to be constructed upon each Lot in the Subdivision are subject to approval. No residence or other structure and no fence, walled utility area, driveway, swimming pool or other structure or improvement, regardless of size or purpose, whether attached to or detached from the main residence, shall be commenced, placed, erected or allowed to remain on any Lot in the Subdivision nor shall any addition to or exterior change or alteration be made to any existing residential building or structure, or any other improvement, unless and until building plans and specifications covering the same showing the nature, kind and shape, height, size, materials, floor plans, exterior color schemes, location and orientation of the residence on the Lot and approximate square footage, construction schedule, front, side and rear elevations, and such other information as Developer and/or the ARC shall require, including plans for the grading and

landscaping of the Lots showing any changes proposed to be made in the elevation or contours of the land, have been submitted and approved in writing.

(b) Developer and/or the ARC shall have the right to approve or disapprove any proposed Lot improvement, including but not limited to building, fence, wall, screened enclosure, grading, floor elevation, drainage plan, mailbox, solar energy device, posts, antennas, fountains, decorative building features, landscaping plan, landscape device or object, yard decorations, or other improvement, whether proposed as new construction or additions, modifications or alterations.

(c) Plans and specifications in regards to topography and finished grade elevation must also be submitted for approval prior to the commencement of any excavation work or activity which will alter the existing topography of the Lot.

(d) Developer and/or the ARC shall have the absolute and exclusive right to refuse to approve any plans and specifications which are not suitable or desirable in its sole discretion and opinion for any reason, including purely aesthetic reasons. Developer and/or the ARC will not be limited to the specific restrictions and requirements of this Article in making its decision.

(e) Any modifications to previously approved plans are also subject to approval.

X. Application & Procedure. Each lot owner is responsible for coordinating and submitting the required application and information to the ARC for approval, and each lot owner is responsible for all fees and deposits required by the ARC. Each application is reviewed on an individual basis.

(a) Format. The application shall include two sets of construction plans and specifications and an electronic set of all documents in a suitable format showing all intended construction and alterations on the subject Lot, including but not limited to site plan, tree survey and clearing plan, landscape plan, erosion control plan, sidewalk construction, exterior elevations, paint colors, shingle samples, exterior materials samples, and other descriptions necessary to describe the project. The plans, specifications, and location of all contemplated construction shall be in accordance with the terms of the Declaration, these Guidelines, and with all applicable codes and ordinances of the local governing agency or agencies issuing permits for construction or land alteration in effect at the time of such proposed construction or alteration.

- (b) **Initial Review Fee.** A \$325.00 fee shall be required for the initial review process, which includes review of the following:
- Lot Clearing Strategy
 - House Plan Review
 - Landscape Plan Review
- (c) **Resubmittal Review Fee.** The ARC has the discretion to require a \$75.00 fee for the review of any addition submittals or re-submittals.
- (d) **Compliance Deposit.** The ARC may require an Owner to pay a refundable compliance deposit to ensure compliance with the terms herein and the terms of the Declaration with respect to landscaping and right-of-ways. The amount of this deposit will be determined on a case-by-case basis and many factors will be considered in determining the amount, including but not limited to whether the Owner and/or proposed contractor has fully complied with the Declaration and Guideline requirements in the past. The Compliance Deposit will be held by the Association until the final inspection has been conducted and Owner has been issued a certificate of compliance. The compliance deposit may be used for the cost of measures taken to correct any non-compliance. For example, the Compliance Deposit may be used to pay for replacing trees and native landscaping harmed or destroyed during construction, clean-up of construction debris left onsite, screening of electrical transformers and above ground utility boxes with appropriate landscaping, and planting vegetation sufficient in size and density. In the event that the cost of any corrective measures taken exceeds the amount of any deposit paid, Owner shall be liable for reimbursing the Association for said costs in excess of the compliance deposit.
- (e) **Notification of Approval.** The ARC will notify Owner in writing within thirty (30) days of receipt of all required evidence of either approval of plans or disapproval of plans, specifying the segments or features of the plans which are objectionable and suggestions, if any, for curing such objections.
- (f) **Completion of Construction.** All approved construction and landscaping shall be completed within six (6) months from the date of written approval unless the ARC has granted an extension in writing.

- (g) **Construction Hours.** Construction is not allowed from 6:00pm to 8:00am or at all on Sundays and the following holidays: January 1st, 4th of July, Thanksgiving Day, Christmas Day and any other day or holiday as determined by the Association. Additional construction hours may be granted by the ARC in special circumstances, provided that the work involved does not generate excessive noise or additional traffic. Work that is not audible beyond the property would generally not be considered excessive noise.
- (h) **Certificate of Compliance.** No building or structure shall be occupied until the same is approved for by such governmental agencies which are responsible for regulation of building construction and until the ARC issues a certificate of compliance after inspection of the Lot and improvements.
- (i) **Enforcement.** All Owners shall comply with these Guidelines and the Declaration and other Governing Documents. Failure to comply with the aforementioned documents shall be grounds for an action to recover damages or injunctive relief, for suspension of voting rights and use of recreational facilities, for foreclosure of liens or any other legal or equitable relief deemed appropriate. **Please note that the failure of the HOA or the ARC to enforce any provision, covenant, restriction, rule or regulation shall in no event be deemed a waiver of the right to do so thereafter.**

XI. **Architectural Standards & Guidelines.** The standards and guidelines that follow address a broad range of exterior structural and/or design elements for which Owners frequently submit an application to the ARC. While it would be impossible to address each specific design condition, these Guidelines present the principal factors which should be considered when developing a design. More specifically, these Guidelines define the limits to size, quality of construction, location, materials and color based on the intended use and relationship to adjoining properties rather than focusing on a particular construction detail or a specific design alternative.

- (a) **Special Note Regarding County Approvals.** Many structural changes require county review and permits. It is the Owner's responsibility to obtain all such approvals and permits. Escambia County authorities should be contacted prior to beginning any work in order to verify what procedures must be followed and obtain required permits. County approval does not preclude the need for ARC approval and vice versa.

- (b) **Lot Clearing.** It is the homebuilder's or homeowner's responsibility to ensure full compliance with all local, state and federal laws regarding individual lot clearing and preparation prior to any lot clearing activity. At a minimum, the following checklist must be adhered to:
- All building permits and approvals have been granted.
 - All construction financing has been acquired.
 - Review of home construction plans have been approved by ARC.
 - Review of lot clearing strategy has been approved by ARC.
 - High visibility netting, paint and tape have been installed pursuant to approved individual lot clearing strategy.
 - Landscaping plan has been approved by ARC.
 - Fees have been paid in full.

One intent of the ARC is to preserve, to the extent possible, all trees three inches (3") DBH (Diameter Breast Height) or greater, and all ground cover including, but not limited to, wild rosemary, natural grasses, saw palmetto, wax myrtle, holly and groups of scrub oak or sand pine.

Lot clearing may begin upon receipt of authorization from the ARC. Lot clearing activities shall be performed without delays. Cleared and grubbed material shall be removed from the site in a neat and orderly fashion. The contractor shall be responsible for immediate cleanup of spillage of said material for all areas outside of the specified lot. Burning and burn piles are prohibited.

Lot clearing is limited to the specific footprint of the driveway and house and any areas proposed for sod pursuant to the approved Landscape Plan. A five-foot (5') construction access area may be cleared beyond the house footprint. All vehicles, machinery, storage piles, portable toilets and trash dumpsters shall remain within the confines of the cleared areas. At no time shall any construction related item (vehicle, tool or material) be placed outside of said cleared area. All spillage and tracked dirt generated at the construction access point shall be cleaned daily.

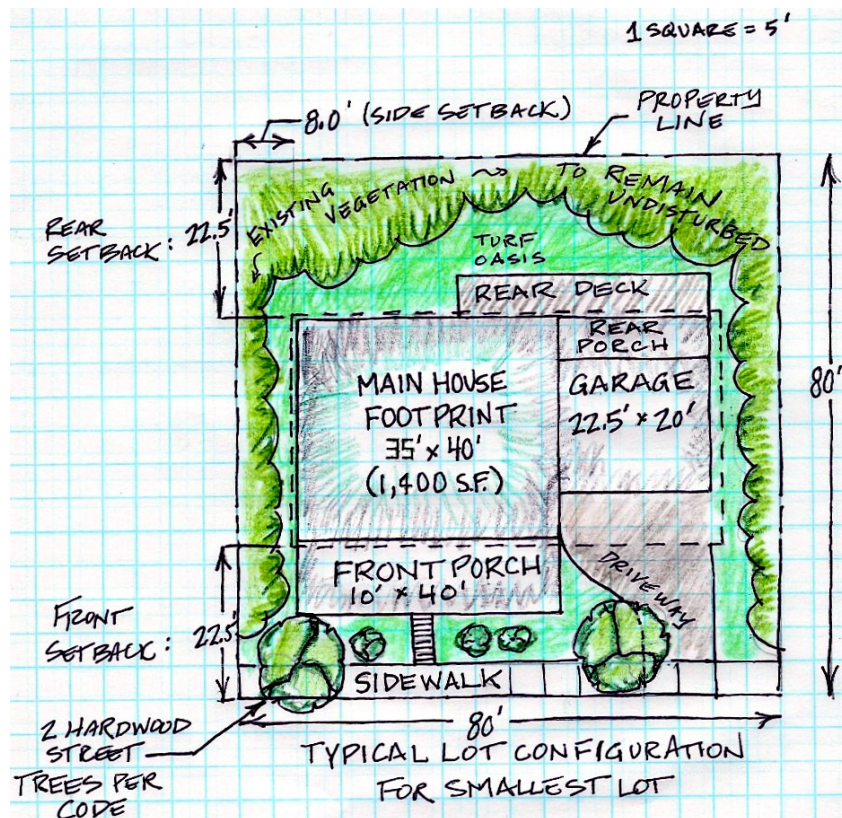
Erosion control measures and Best Management Practices shall be adhered to throughout construction.

(c) **Structure Placement.** It is the homebuilder's or homeowner's responsibility to ensure full compliance with all local, state and federal laws regarding placement and construction of all structures and amenities and other relevant planning and zoning issues. Placement of the house and driveway within each lot shall be conducted to minimize impact to the environment and to promote diversity and character.

(1) **Setback Criteria.** The following building setback criteria have been approved by Escambia County:

- Front: Twenty-two feet and six inches (22.5')
- Rear: Twenty-two feet and six inches (22.5')
- Side: Ten percent (10%) of lot width (example: eighty-foot (80') lot width = eight-foot (8') side setback)

It should be noted that front porches (un-enclosed, unconditioned spaces) may extend ten feet (10') beyond (toward the street) the front setback line. An illustration of the typical lot layout and setback configuration is illustrated in the diagram that follows. Note the front porch extends ten feet (10') beyond the front setback line (towards the street).



ARC will consider the design and footprint of each proposed house and may adjust the final location of the house within the front or

side setbacks as necessary to promote diversity and character within the streetscape.

- (2) **Driveway Criteria.** Driveways will typically be configured along and within five feet (5') from the property line and shall not exceed ten feet (10') in width except for the turnout. Driveway locations are predetermined so that any two houses adjacent to one another shall have driveways on the common property line between the two lots, resulting in two driveways every other lot line. All driveways must have a poured concrete driveway turnout. The section(s) of driveway beyond the driveway turnout may be poured concrete, brick or pavers, mulch, gravel or crushed shell. Dirt, sand, clay or limerock driveways are not permitted.

Stamped concrete driveways are promoted but not required. A sample or picture of the proposed finished product shall be furnished to the ARC for review and approval prior to installation.

Walkways leading from the driveway or from the street sidewalk may be constructed with same materials described above.

- (3) **Street Sidewalk Criteria.** Developer shall be responsible for constructing sidewalk sections at each roadway intersection and throughout all common areas pursuant to the Construction Drawings for the subdivision. It is the responsibility for the contractor or homeowner to pour a five-foot (5') wide section of concrete sidewalk along the front property line of his or her lot. Every effort must be made to prevent impact to trees and clumps of natural vegetation on said lot. All sidewalks shall be constructed pursuant to the details provided in the Construction Drawings for the subdivision. All sidewalk construction is subject to approval by the ARC.

An entrance walkway, a minimum of three feet (3') in width shall be constructed to connect the sidewalk to the entrance porch steps. This walk may be constructed of poured concrete or brick or pavers.

- (4) **Garage Criteria.** Enclosed garages are not required. Appropriate trellis/arbor and carport structures may be constructed to provide defined parking areas. All structures shall be designed to complement the architectural features of the house and must be approved by the ARC prior to construction. These structures shall be located on the side of the house and recessed from the front elevation. Temporary structures such as tarp and pole canopies are prohibited.

Garages shall be designed to reduce their visibility from the street. Side entry garages are preferred. Leeward understands that some lot configurations will make it impossible to construct a side entry garage. Under these circumstances, the garage may face the street. However, the garage doors must have architectural features that complement the house (i.e. material, color, windows, architectural hardware, etc.). Furthermore, the garage shall be configured so that it is significantly recessed from the front elevation. Every effort must be made to minimize the visual impact of the garage door(s) (i.e. deep roof overhangs, trellis/arbors and vegetation). A pair of smaller doors is preferred over one large garage door.

Detached garages, where feasible, are encouraged. These structures shall be designed and constructed in accordance with Escambia County's requirements. Escambia County allows structures such as detached garages to be constructed a distance of 5' from the rear or side property line. These structures shall have architectural features that complement the main house (i.e. materials, colors, trim and details, etc.). A pair of smaller doors is also preferred on detached garages. It may be possible to construct a mother-in-law suite or home business office above the attached garage. All structures and uses are subject to review and approval by Escambia County.

Recreational Vehicles (RVs), boats, Personal Water Craft, motorcycles, trailers and "project cars" shall be parked inside the garage, when practical, or screened with landscaping or architecturally appropriate structures so as not to be seen from the street or from the adjacent lot. If it is not feasible to screen said vehicles, then said vehicles are not allowed and shall not be stored in the community.

(5) Auxiliary Structures.

(A) Sheds/Workshops. Sheds and workshops may be constructed upon authorization from Escambia County. These structures shall have architectural features consistent with the main house OR be shielded from view with an aggressive landscaping plan approved by the ARC. These structures may be placed within five feet (5') of the rear or side property line.

- (B) **Mother-in-law Suites.** These structures may be constructed upon authorization from Escambia County. These structures shall have architectural features consistent with the main house. Plans shall be reviewed and approved by the ARC. Leeward encourages the use of in-law suites constructed above detached garages.
- (C) **Pools.** Leeward includes a community pool and associated facilities for the enjoyment of members and their guests. Individual homeowners may construct private pools and hot-tubs in their back yard so long as any pool screening and pump housing facilities do not detract from the architectural character of the main house. Plans shall be approved by the ARC.
- (D) **Decking.** Decking may be constructed on the side or back yards only. The decking should complement the architectural character of the house and match the front and rear porch design. Composite decking is allowed.
- (E) **Air Conditioner Condensing Units.** The air conditioner condensing units shall be placed to the side or rear of the primary structure and screened from view from the street. Screening may consist of structural material consistent with the architectural character of the house OR with landscaping. Plans must be approved by the ARC. Window and wall-mounted air conditioning units and fans are prohibited.
- (F) **Electrical Transformers and Utility Boxes.** Each homeowner is responsible for screening the electrical transformer and other above ground utility boxes within the right-of-way in front of his or her lot. Note the neighborhood has been planned so as to accommodate these at the front property corners and between adjacent driveways. Screening shall be accomplished with appropriate landscaping. Plans must be approved by the ARC.

(d) **Architectural Design Requirements.**

- (1) **Minimum Square Feet and Height Requirement.** All homes in Leeward shall contain a minimum of 1600 square feet of total conditioned living area and shall be either one and one half stories or two stories in height. All stories and half stories are defined herein as conditioned and finished living accommodations. A half story is further defined as being located wholly or partly within the roof frame and, at a minimum, shall include at least one dormer and at least one half bathroom, in addition to all other required improvements for a suitable living space. As previously stated, it is the Owner's responsibility to ensure full compliance with all local, state and federal laws regarding design and construction of all structures and amenities.
- (2) **Foundations.** Foundations shall be designed such that the finished floor level at the first floor is elevated a minimum of twenty-four inches (24") above surrounding final lot grade. The approved foundation types are:
- Stem wall—constructed from brick, reinforced concrete or concrete block. Reinforced concrete and block stem walls shall be screened or covered with brick, stone, stucco, lattice or plank siding. As an option, all side and rear facing stem walls may be painted or coated with an earth tone color or a color complementary to the house.
 - Pier—constructed from brick, reinforced concrete or concrete block. Piers facing the street shall be dressed with brick, stone or plank siding consistent with the architectural character of the house. All side and rear facing piers shall, at minimum, be painted or coated with an earth tone color or a color complementary of the house.
 - Other foundation systems required by unique soil or structural conditions may be approved at the sole discretion of the ARC.
- (3) **Exterior Façades.** Siding materials should be appropriate for the particular architectural style of the proposed structure. Acceptable siding materials are brick, stone, stucco, wood and cementitious composite (i.e. Hardiplank®) products imitating wood. Wood and composite siding can be vertical or horizontal and may be lap or shingle siding. Plywood (i.e. T1-11), vinyl, and aluminum are prohibited for most siding applications but will be reviewed on a case by case basis. Fastener material and installation shall prevent rust and rust stains on siding.

- (4) **Porches/Balconies.** Front porches shall be no less than eight feet (8') in depth unless approved otherwise by the ARC. Front porches shall extend, at minimum, fifty percent (50%) of the front elevation of the house (not including the recessed garage), and shall be configured so that the front door of the house is located within the porch. Porches shall be constructed on piers OR shall have the appearance of pier construction. Please note that the open, non-conditioned porch structures may be constructed up to ten feet (10') beyond the front building setback line (towards the street).

Columns, handrails, and other architectural details are encouraged and should be consistent with the architectural style and quality of the main structure. Single columns shall have a minimum finished dimension of five and one-half inches by five and one-half inches (5½" x 5½") if square, or eight inch (8") diameter if round. Grouped columns (i.e. craftsmen style) shall be a minimum of three and one-half inches by three and one-half inches (3½" x 3½") for each column.



Note: Acceptable capital detail and porch ceiling.

Porch decking material should be architecturally appropriate. Decking can be smoothly finished concrete, where appropriate, or wood or composite wood porch flooring. If wood porch flooring is used it shall be pressure treated tongue-and-groove and shall be allowed to acclimate to the construction site a minimum of two weeks to minimize gaps due to shrinkage. Wood porch decking is typically finished with gray porch deck paint following proper preparation and primer. All porch fasteners shall be rust resistant.



Note: Acceptable column base, porch detail and foundation column detail.

Balconies and upper-story porches may be constructed. Balconies shall be functional and of a style consistent with the overall architectural style.

(5) Roofing. Roofing style, materials, trim and details are to be consistent with the architectural style of the primary structure.

(A) Roofing Materials. Acceptable roofing materials are unpainted, standing seam or v-crimp, Galvalume® or galvanized metal, dimensional asphalt shingles, or an ARC approved equivalent roofing material. Accent roofing such as Copper may be used. Stainless or rust resistant fasteners shall be used.

- (B) **Roof Overhangs.** All roofs should overhang from the building walls by a minimum of two feet (2').



Note: Significant roof overhangs.

- (C) **Soffits and Eaves.** The use of soffits around the perimeter of the house is allowed. However, Leeward encourages builders to construct eaves with exposed rafter tails. Rafter tails may be architecturally modified to create character (i.e. cut an “S” curve in the last twelve inches (12”) of each exposed rafter tail).



Note: Rafter tail design, handrail design and shutters.



Note: Acceptable soffit detail.

- (D) Gutters and Downspouts.** Where necessary, all gutters shall be of ½-round type, square or rectangular or ogee in cross-section. The finish shall be smooth. Downspouts shall be round, square or rectangular in cross-section (ribbed style is prohibited) and shall be located to minimize visual impact from the street. Downspouts shall not be directed towards adjacent neighbor's property. Gutter and downspout material shall be galvanized metal, copper or anodized aluminum. Aluminum gutters shall be painted to match the house.

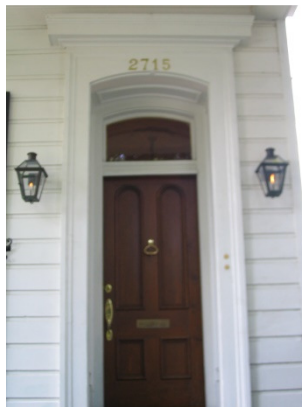


Note: Galvanized round downspout.

- (E) **Flashing.** At all locations where step flashing is required to prevent deterioration of the siding, step-counter flashing shall be installed. Flashing materials shall be galvanized metal, copper or anodized aluminum.
 - (F) **Venting.** Ridge vents and off-ridge vents may be utilized. Off-ridge vents must be placed where not visible from the street. Turbine attic vents are not allowed. Gable vents are encouraged where architecturally appropriate.
 - (G) **Slope.** Roof slopes shall be in accordance with the particular architectural style of the proposed house.
- (6) **Paint.** All exterior painting schemes shall utilize traditional color palettes. All siding and trim must be painted; siding that is impregnated with color direct from the manufacturer will be considered on a case-by-case basis. No two adjacent houses or houses across the street from one another may be painted the same color or have the same color scheme. All exterior color schemes shall be submitted with the construction plans for approval by the ARC, as shall any proposed changes to the color scheme for an existing home.
- (7) **Windows.** Builders are encouraged to utilize energy efficient and storm resistant windows. Visible reflective tint or backing is not allowed on any window. Placement of signage, pictures, etc., in windows visible from the street is prohibited. All windows and their arrangement shall be of an architectural style consistent with the primary structure. Windows shall be inset in the window opening rather than flush to the exterior. All operable windows shall have full height screens. The use of metal shutters or fabric products for storm protection is discouraged but not prohibited; if used, fasteners must be hidden and are subject to ARC approval.

Shutters are encouraged, however they must be appropriately dimensioned to cover entire window if closed.

- (8) **Doors.** All front doors shall be constructed of wood or have the appearance of natural wood. Glazing in front doors and the use of sidelights are encouraged. Flush doors are prohibited. All doors and their arrangement shall be of an architectural style consistent with the primary structure. All exterior side and rear doors shall be constructed of wood, metal or fiberglass and shall have panels. Sliding glass doors may be used in applications not visible from the street. Metal screen and storm doors are prohibited. The use of metal shutters or fabric products for storm protection is discouraged but not prohibited; if used, fasteners must be hidden and are subject to ARC approval.



Note: Recessed front door and acceptable side entry door.

- (9) **Exterior Trim.** All exterior trim materials, dimensions, and details shall be consistent with the overall architectural style of the primary structure. Rough sawed lumber and “rough sawed” textured materials may be approved for exterior trim on a case by case basis.
- (10) **Exterior Lighting.** Quality, appropriately styled and scaled fixtures must be utilized on the front of the house and garage. These fixtures can be wall or ceiling mounted. Fixtures cannot be excessive in number or brightness.

For accent lighting, quality low voltage lighting shall be used for all front and side yard applications. Flood lights may be utilized in applications not visible from the street, however, flood lights must be directed downwards. Motion sensitive “security lights” are recommended in place of floodlights. Streetlight type fixtures are prohibited on individual homes and lots.

Christmas and holiday season lighting shall be reasonable, tasteful and consistent with the character of the neighborhood.

- (11) **Chimneys, Chases and Caps.** Chimneys, chimney chases and chase caps shall be finished in brick, stone or stucco. Chimney design, including caps, shall have an architectural character consistent with the house. Chimney caps and chase covers shall be constructed from copper, galvanized steel or stainless steel. False chases for ventless fireplace units are allowed.
- (12) **Satellite Dishes and Antennas.** Satellite dishes and television or radio antennas shall not be visible from the street.
- (13) **Solar Panels.** Solar panels or solar hot water heaters may not be visible from the street.
- (14) **Flag Poles.** A single flag pole fastened to the front porch is allowed. The flag may not be greater than two feet by three feet (2' x 3') in size. No standing flag poles or flag "feathers" are allowed.
- (15) **Arbors.** Arbors and trellises are encouraged and shall complement the architectural character of the house.



Note: Arbor used for defined parking area.

- (16) **Fencing.** Picket fences are encouraged for front yard applications. Picket fences must be twenty-five percent (25%) opaque and have a maximum height of four feet (4'). Fence material and style shall be approved by the ARC. Wooden privacy fences up to six feet (6') in height are allowed on side and rear yard applications, but cannot extend beyond the front façade of the house. Any fencing visible from the street shall be approved by the ARC. Chain link fencing is prohibited. Other fencing styles are subject to review and approval by the ARC.
- (17) **Mailboxes.** Mailboxes shall be constructed to match the architectural style of the house or as an alternative may be purchased from a manufacturer of architecturally styled mailboxes. In either case, a picture or scaled sketch shall be provided for review and approval by the ARC.
- (e) **Landscaping.** By limiting land clearing and preserving natural, indigenous plant and tree species during development, the Developer has taken the first step in developing a Xeriscape™. The following guidelines and restrictions have been prepared to reduce water consumption and fertilizer and pesticide application in hopes of conserving water and reducing pollutant runoff into our surrounding waters.
- (1) **Xeriscape™ Concept.** The Xeriscape™ concept was developed by Denver Water, 1600 West 12th Ave., Denver, Colorado, 80254, (<http://denverwater.org/>). The Northwest Florida Water Management District has received authorization to use the Xeriscape™ concept in general publications available to the public. Information on Xeriscape™ is available on the internet in the Waterwise Landscapes page from the Saint John's River Water Management District; simply follow the link www.sjrwm.com/waterwiselandscapes/, including a plant database and a direct link to the University of Florida's page (<http://fyn.ifas.ufl.edu/>) for the Florida-Friendly Landscaping Program.

The concept is based upon utilizing plants and trees that are native to a given area OR utilizing plants or trees from another area that will survive under the existing conditions with little or no assistance. Native vegetation has survived because it has built in mechanisms to withstand fire, droughts, severe rainfall, hurricanes, etc. Typically, this native vegetation is removed during construction and replaced with plant and tree species from another region. Often, the result is many weekend hours and wasted money spent watering, cutting, pruning, and applying fertilizers and pesticides.

- (2) **Sod.** As a rule of thumb, no more than fifty percent (50%) of the lot, not including the house, driveway and sidewalk or auxiliary structures can be cleared for sod installation. Sod is strongly discouraged.
- (3) **Trees.** As part of home construction, each homeowner will be responsible for planting two (2) hardwood trees approved by the ARC. Every effort shall be made to protect existing trees during construction. Trees that are killed by carelessness or recklessness on behalf of the contractor or homeowner shall be replaced with an equivalent DBH utilizing a minimum of two-inch (2") DBH trees (i.e. one six-inch (6") tree killed would yield three (3) two-inch (2") DBH replacement trees).
- (4) **Shrubs/Groundcover.** Supplementary shrubs and groundcover may be installed by the homeowner, but are not required.
- (5) **Plants/Flowers.** Supplementary plants and flowers may be installed by the homeowner, but are not required.
- (6) **Rocks.** Architectural rocks and stones may be used to augment the landscape. Plans for installation of rocks or stones shall be approved by the ARC.
- (7) **Fountains/Ponds.** Fountains and ponds cannot be constructed or installed where visible from the street.

XII. Photographs of Acceptable and Unacceptable Design Elements.

	
<p>Unacceptable: Columns too narrow, shutters too small and unusable, otherwise acceptable design.</p>	<p>Acceptable: Prominent porch, columns, handrails, adequate and functioning shutters and acceptable color scheme.</p>



Acceptable: The second story of this two-story house has adequate character, color scheme, siding material and roofing material.



Acceptable: Porch covers at least 50% of front elevation, utilizes raised foundation, and has acceptable color scheme and roofline.



Unacceptable: Lacks character, not sufficiently set above grade, columns need improvement. Add hand rails and attic vent/window in gable.



Acceptable: Lots of character, raised foundation and large front porch.



Acceptable: Lots of character, large front porch and quality color scheme.



Unacceptable: Porch too shallow otherwise, siding, deep roof overhangs and column design acceptable.



Acceptable: Large front and side porch, excellent character and good color scheme, however column size suspect.



Unacceptable: Columns too small, otherwise acceptable.



Acceptable: Large front porch, prominent columns and acceptable color scheme.



Unacceptable: Enclosed front porch otherwise has interesting rooflines, deep roof overhangs and brackets.



Unacceptable: Porch too small, iron handrails are not acceptable, stem wall foundation exterior not finished



Acceptable: Large porch and plenty of character, good use of climbing vegetation, however color scheme is suspect.



Acceptable: Large porch, acceptable stone columns, inviting entry-way and lots of character.



Acceptable: Large front porch, stone façade, large dormer and detached garage.



Unacceptable: Small front porch, typical ranch style roofline and lacking in sufficient character.



Unacceptable: Front porch too small, iron handrails and poor color scheme.



Unacceptable: Front porch too small, not constructed on raised foundation and garage not setback from front elevation.



Unacceptable: Front porch enclosed and color scheme, however the raised foundation and interesting roof lines are acceptable.



Unacceptable: Insufficient foundation height. Would suggest larger dormer, and more windows, otherwise acceptable.



Acceptable: Lots of character, raised foundation, adequate column widths, interesting hand rails and exposed rafter tails.



Acceptable: Large front porch, raised foundation, deep overhangs with brackets, acceptable color scheme and lots of character.



Unacceptable: Insufficient foundation height. Otherwise acceptable.



Acceptable: Large front porch, raised foundation, unique dormer, deep roof overhangs, good use of brick and acceptable color scheme.



Acceptable: Large front porch, raised foundation, deep roof overhangs and plenty of character.



Acceptable: Large front porch, raised foundations, deep roof overhangs and plenty of character.



Acceptable: Good column configuration and interesting hand rails.



Acceptable: Front porch sufficiently large, adequate column design, interesting hand rails and rooflines.



Unacceptable: Columns too narrow, otherwise acceptable. Note good use of arches between columns.



Unacceptable: Insufficient foundation height, unwelcoming front entry-way and porch too shallow.



Unacceptable: Entry-way uninviting and porch too shallow otherwise acceptable.



Unacceptable: Although house has significant character, the front porch is too small.



Acceptable: Large porch, good use of siding material and color scheme.



Unacceptable: Although house has significant character and a large porch, the entry-way is not defined. Recommend staircase.



Unacceptable: Although house has significant character, the porch is not large enough. Please note excellent garage door detailing.



Unacceptable: Front porch enclosed, iron handrails, however roofline, window casing and color scheme acceptable.



Unacceptable: Although this house has significant character and good column detailing, the front porch is too small. Please note acceptable roofline.



Acceptable: This house has character and good use of brick.



Unacceptable: Although this house has significant character, the porch is too small and the foundation height is insufficient.



Acceptable: This house has lots of character, nice detailing on columns and brackets, however, stem wall and column bases must be finished.



Acceptable: This house has character, large front porch, raised foundation and good column detailing.



Acceptable: This house has plenty of character, nice porch detailing, good color scheme, however foundation height insufficient.



Acceptable: This house has nice front porch, good color scheme and excellent use of brick on the stem wall.



Acceptable: This house has nice front porch, acceptable color scheme, interesting roofline and good use of brick.



Acceptable: This house has lots of character, good porch detailing and good color scheme.



Unacceptable: The front porch is too shallow, otherwise house is acceptable.



Unacceptable: Front porch too small and foundation height insufficient.



Unacceptable: Front porch does not cover 50% of front elevation, otherwise acceptable. Note acceptable window shutter design.



Acceptable: Good roof detailing, adequate porch size and design.



Acceptable: Excellent proportions, good color scheme, good use of space above carport.



Acceptable: Perfect for corner lot, excellent color scheme, good rooflines and brackets.



Acceptable: Large front porches, prominent columns and acceptable color scheme.



Unacceptable: Porches too shallow, however, roof over hangs, column design, foundation design, color scheme and height are excellent.